

CODE COMPLIANCE

- CONTRACT DOCUMENTS

- ## PERMITS

- BIDDING

- CONSTRUCTION ADMINISTRATION

- ## SAFETY & PROTECTION

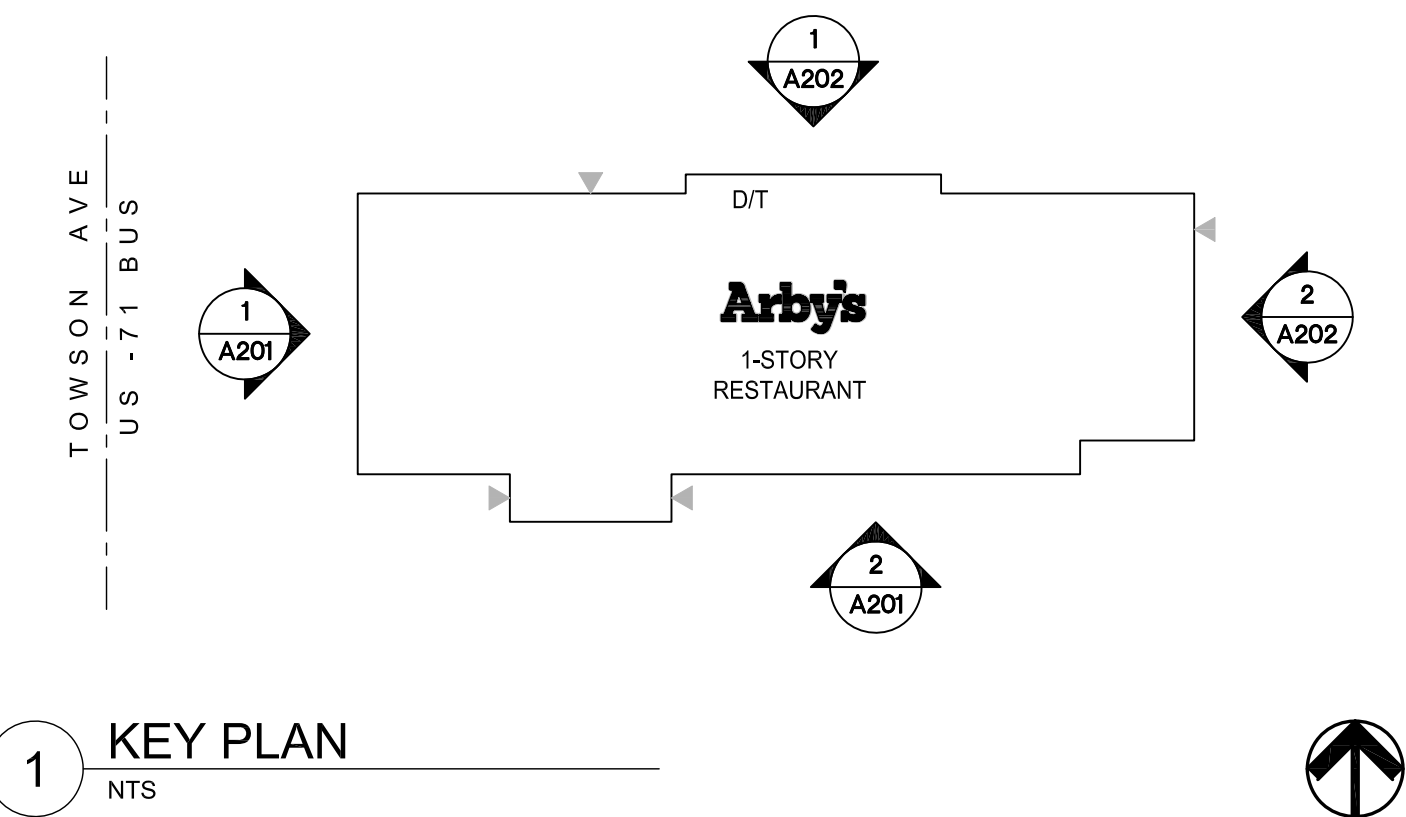
- INSURANCE/INDEMNITY

- ## SUBMITTALS

34. SUBMITTALS SHALL REFLECT ACTUAL FIELD MEASUREMENTS.

TURN-OVER

PROJECT LOCATION



CODE LIST
ADOPTED w/ STATE AND LOCAL AMENDMENTS
CITY OF FORT SMITH

ARKANSAS STATE FIRE PREVENTION CODE (VOL. I, II)
INTERNATIONAL FIRE CODE, IFC 2012
INTERNATIONAL BUILDING CODE, IBC 2012
IBC CH.11 / ICC ANSI A117.1
NFPA LIFE SAFETY CODE 2012
NATIONAL ELECTRIC CODE NFPA 70, NEC 2017
ARKANSAS MECHANICAL CODE, IMC 2010
ARKANSAS PLUMBING CODE, IPC 2006

[300]	<u>BUILDING, USE CLASSIFICATION</u> A2 - ASSEMBLY	
[500]	<u>BUILDING, HEIGHT AND AREA</u> ALLOWABLE HEIGHT ALLOWABLE AREA ACTUAL AREA (gross)	40 ft. 1-STORY 6,000 sq.ft. 2,700 sq.ft.

[600]	<u>BUILDING TYPE OF CONSTRUCTION</u>			
	VB - NOT SPRINKLERED			
[1000]	<u>MEANS OF EGRESS</u>			
	DINING (net)	(52 seating)	870 sq.ft.	58
	WAITING	15 sq.ft./occ.	120 sq.ft.	8
	KITCHEN	200 sq.ft./occ.	1,100 sq.ft.	6
	STORAGE-UTIL.	300 sq.ft./occ.	280 sq.ft.	1
	OFFICE	100 sq.ft./occ.	50 sq.ft.	1
	<u>OCCUPANT LOAD</u>			74

(2) EXITS REQUIRED. EXIT DOORS 32" MIN. CLEAR
EXIT ACCESS TRAVEL DISTANCE 200' MAX

[2900]	<u>RESTROOM FIXTURES</u>		
	WC	1 PER 75	M/F
	LAV	1 PER 200	M/F

[illegible]

REMODEL TO EXISTING ARBY'S RESTAURANT

INTERIOR: REPLACE FINISHES AND FURNITURE IN EXISTING PUBLIC AREAS
NO WORK PROPOSED IN EXISTING KITCHEN AREAS / REPLACE LIGHT FIXTURES
EXTERIOR: REFINISH, PAINT. NON-STRUCTURAL

INTERIOR AREA OF WORK: 1,400 sq.ft.

NO CHANGE TO EXISTING BUILDING USE, CONSTRUCTION TYPE OR FLOOR AREA
NO CHANGE TO EXISTING EGRESS OR EXITS.

DEFERRED SUBMITTALS OR SEPARATE PERMITS

1. FIRE SPRINKLER SYSTEM (N/A - NOT APPLICABLE)
2. FIRE ALARM AND DETECTIONS SYSTEMS
3. EXTERIOR/SITE SIGNAGE AND GRAPHICS
4. EXTERIOR AWNINGS, CANOPIES, SIGN BANDS

OWNER
FLYNN RESTAURANT GROUP
RB AMERICAN (RBA)
6200 OAK TREE BLVD. #250
INDEPENDENCE, OH 44131
216.525.2775

ARCHITECT
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REMODEL



ARBY'S RESTAURANT GROUP, INC.
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01.13.2021
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ARBY'S #1191
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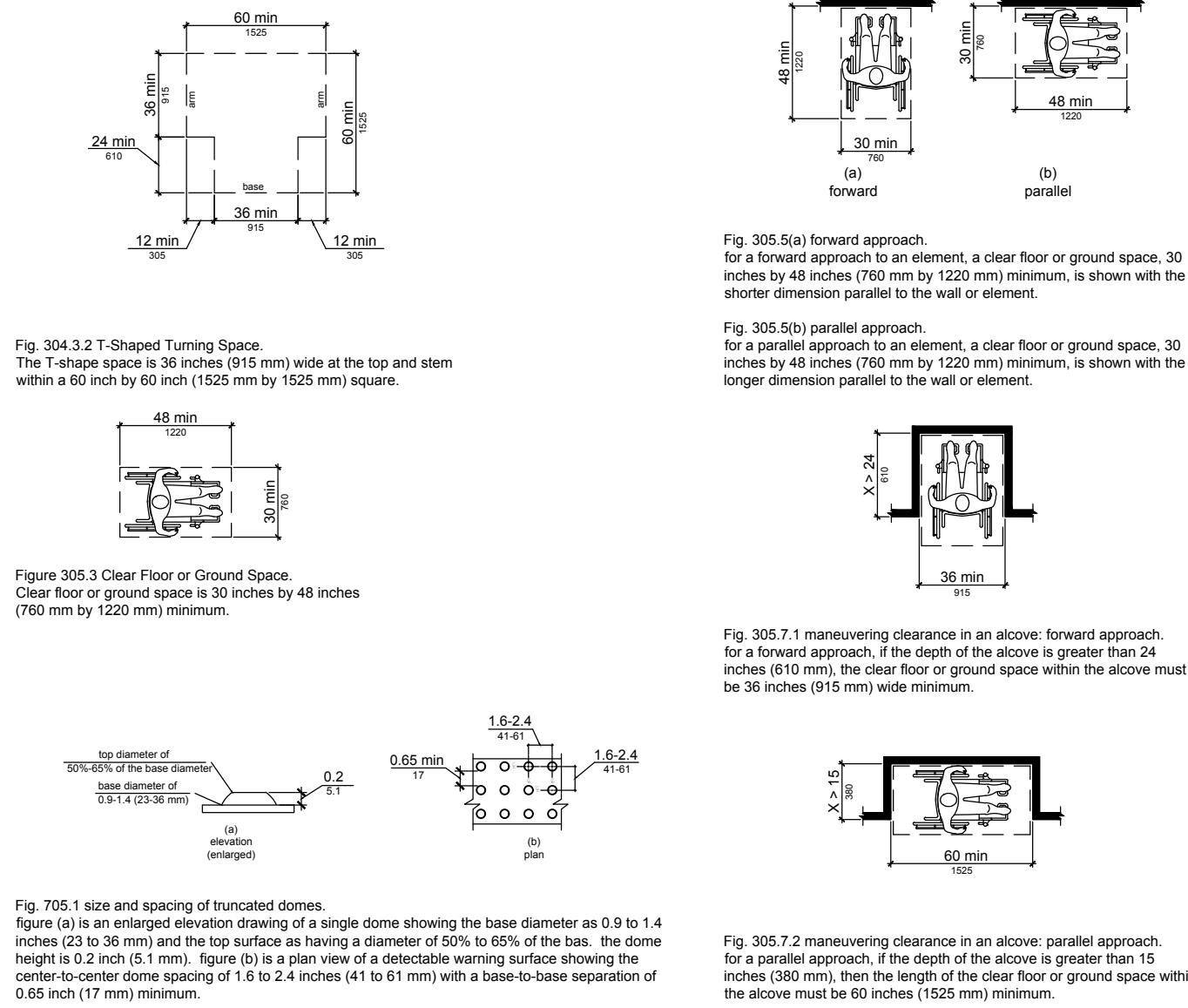
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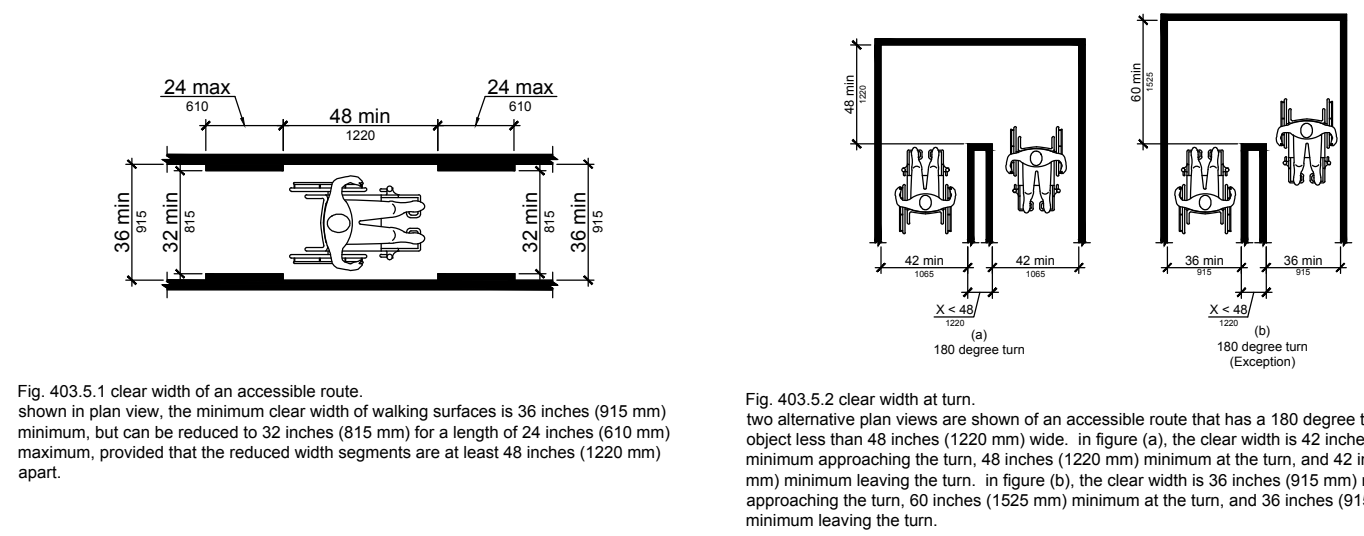
G101

DO NOT SCALE DRAWINGS

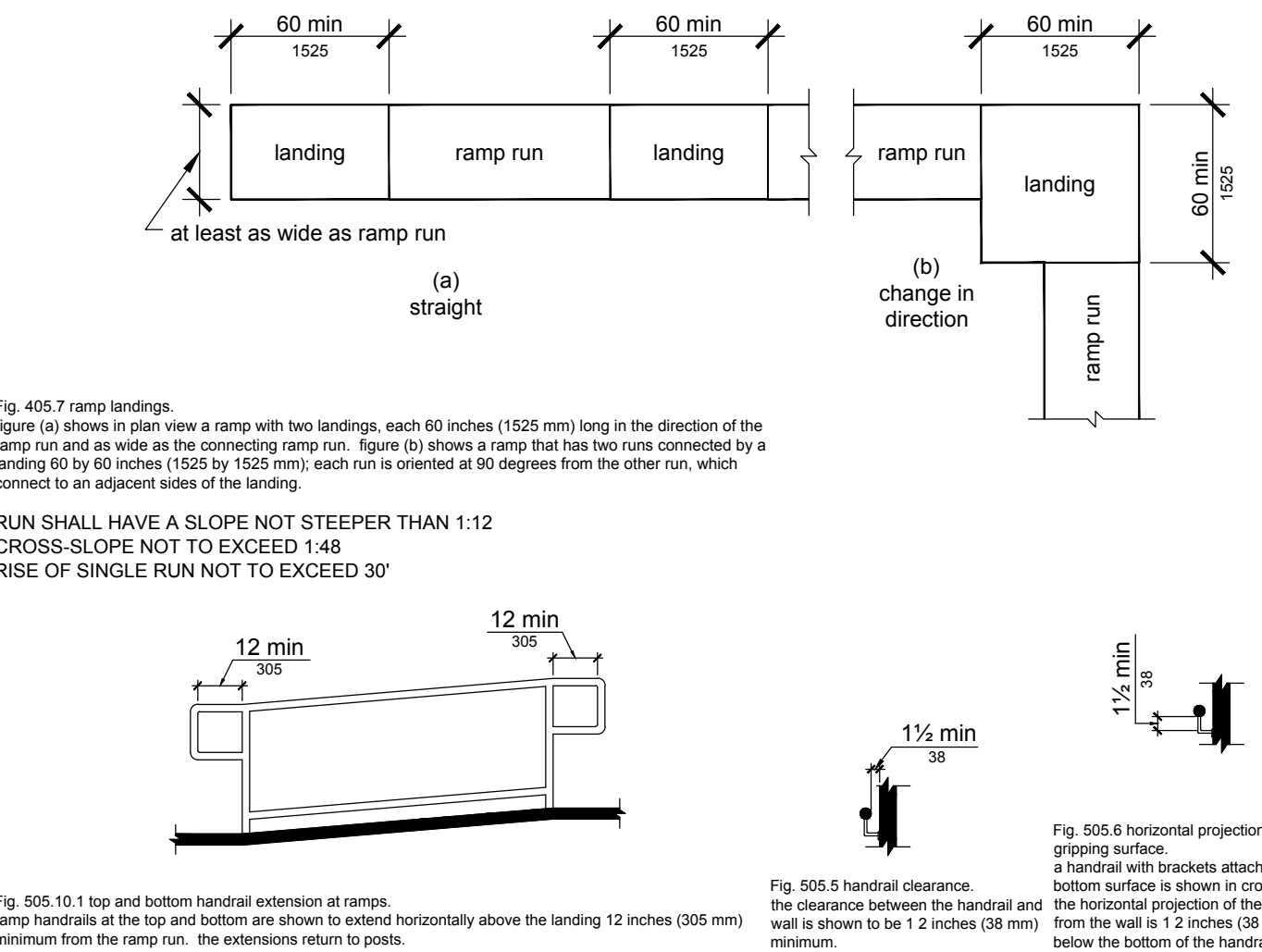
ACCESSIBLE CLEARANCES



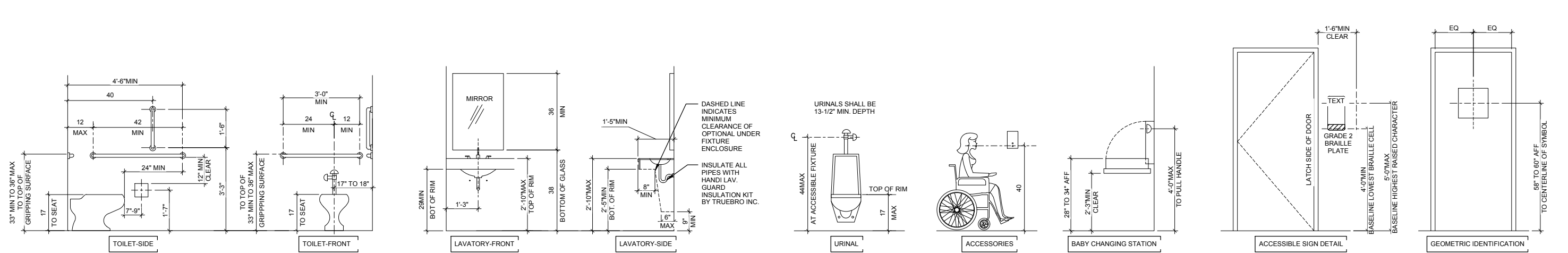
ACCESSIBLE ROUTE



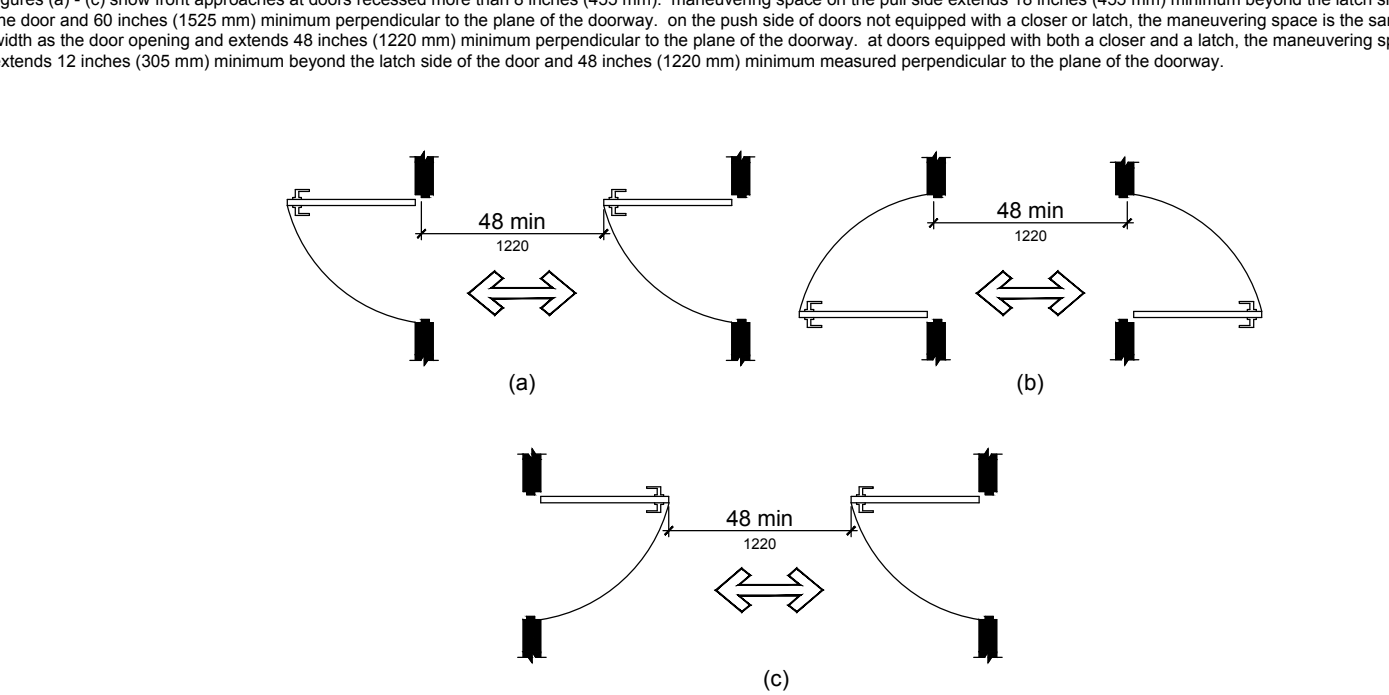
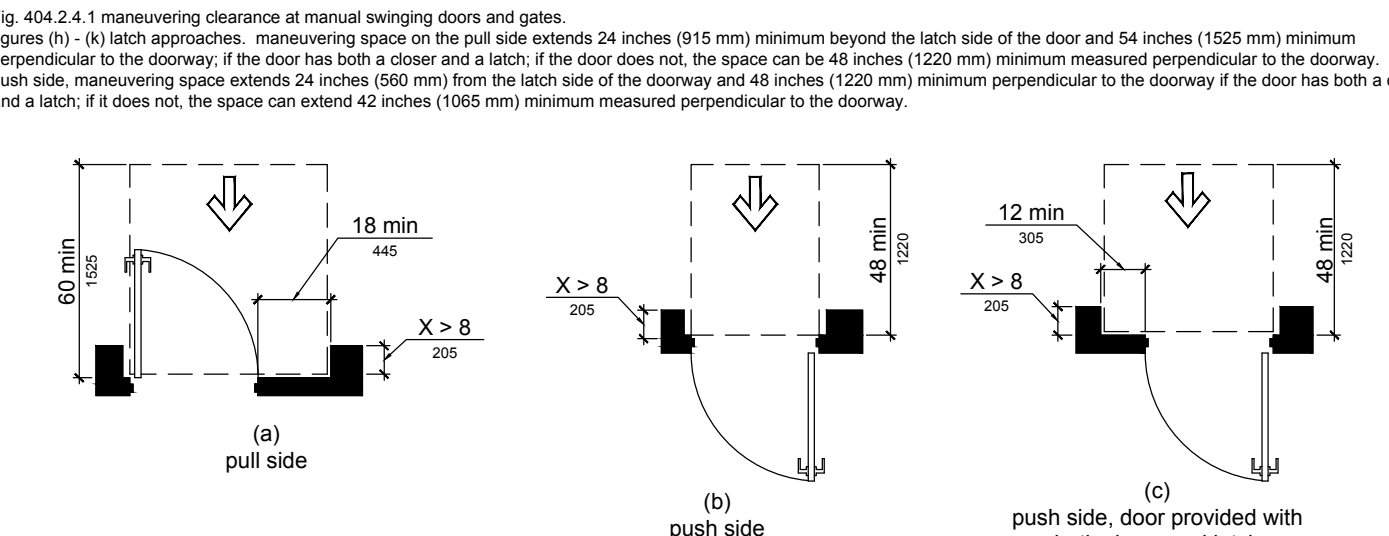
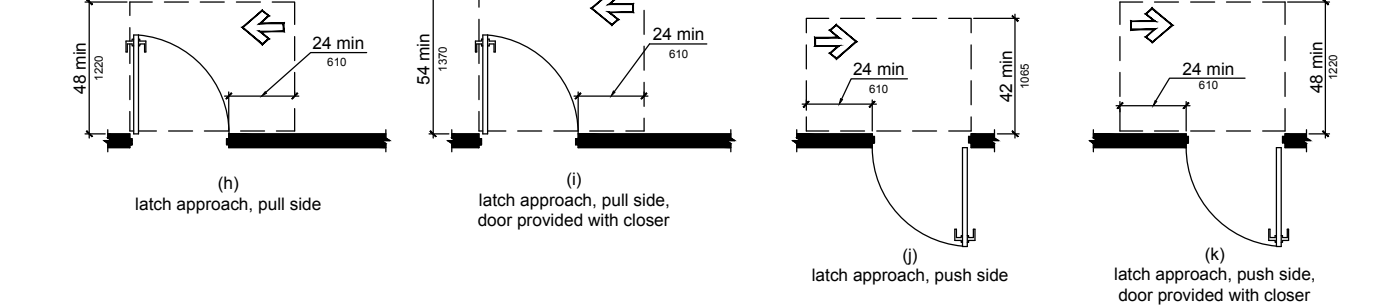
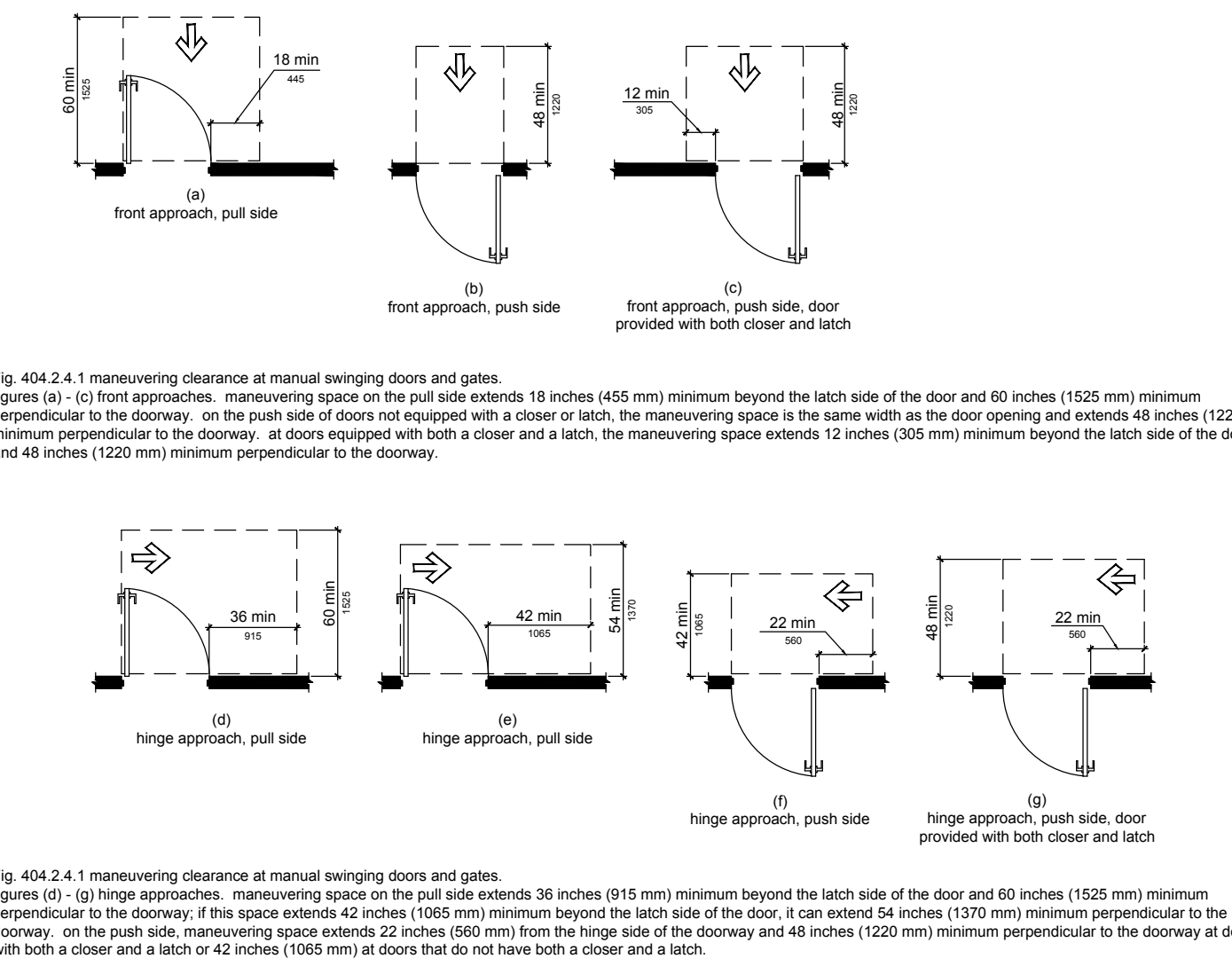
RAMPS



RESTROOM FIXTURES



DOORS



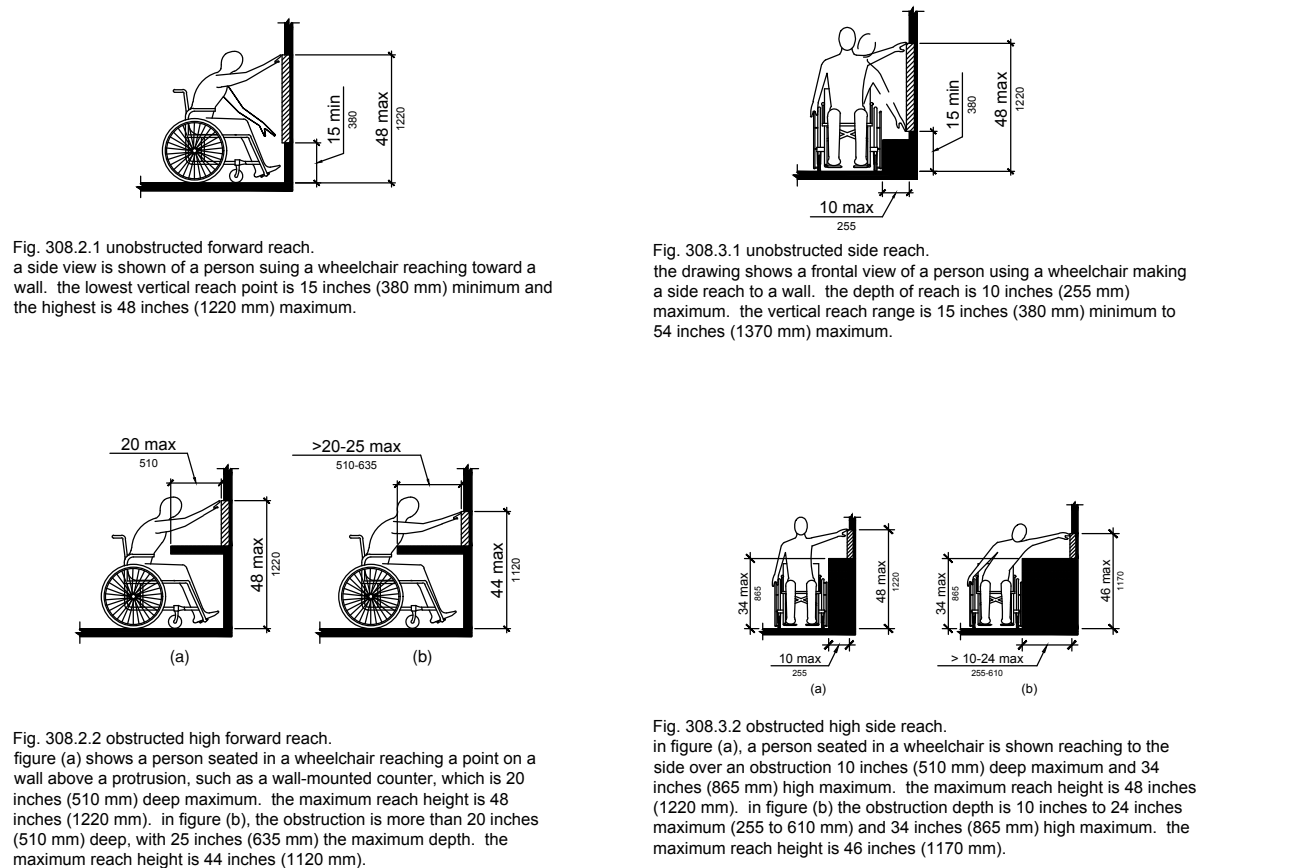
WIDTH OF DOOR TO BE 32" MIN. CLEAR MEASURED FROM FACE OF DOOR IN THE 90-DEGREE OPEN POSITION TO THE DOOR STOP AND HAVING THE REQUIRED MANEUVERING SPACE.

DOOR OPENING SHALL PROVIDE 80" MIN. CLEAR HEIGHT WITH THE EXCEPTION OF DOOR CLOSER AND STOPS (78" MAX) AFF

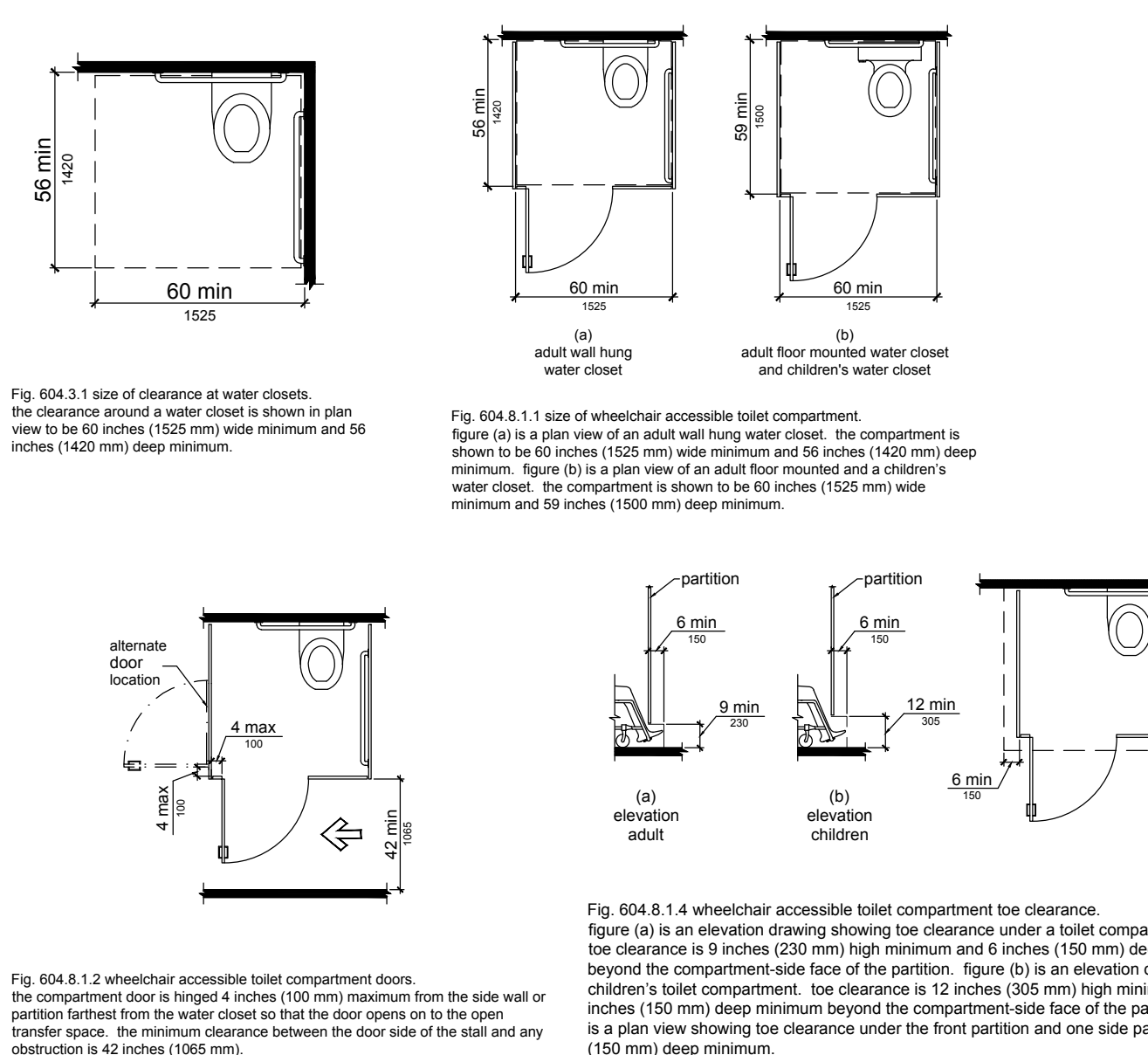
DOOR HARDWARE: HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE, 5 LBS. MAXIMUM OPERATING FORCE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FLOOR

CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES IS 5 SECONDS MINIMUM

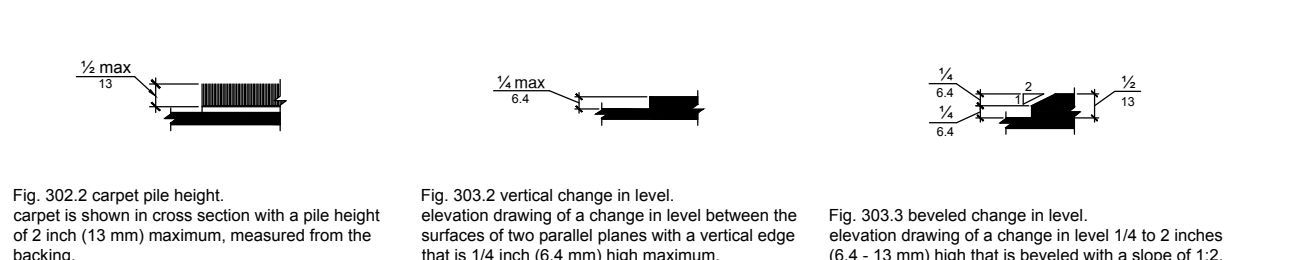
RANGE OF REACH



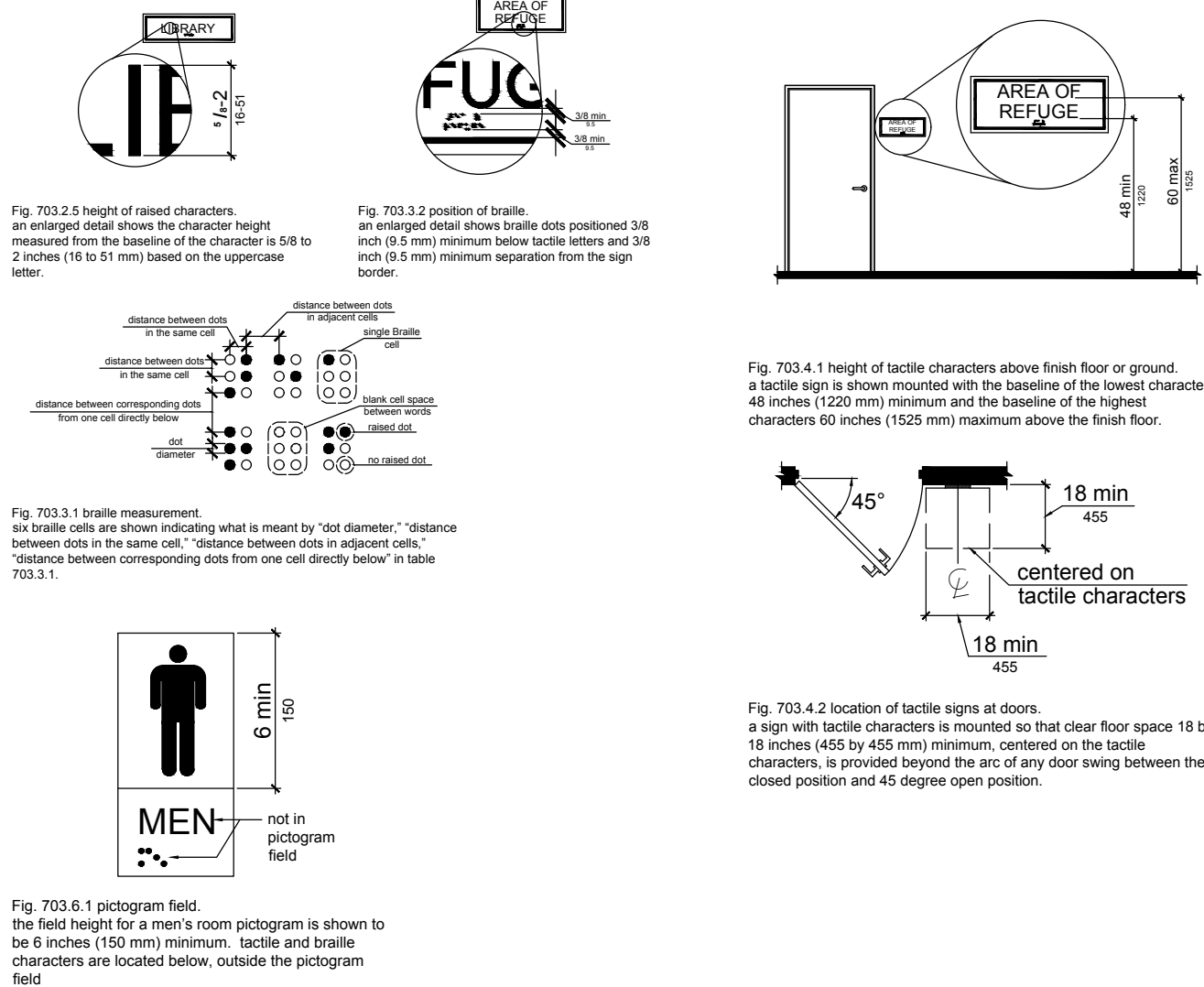
STALLS W.C.



FLOORING TRANSITIONS



TACTILE SIGNAGE



GENERAL NOTES

1. ACCESSIBLE ROUTE FLOOR AND GROUND SURFACES SHALL BE STABLE AND SLIP RESISTANT.
2. AT DINING AND SURFACES REQUIRED TO BE ACCESSIBLE, KNEE CLEARANCES SHALL BE PROVIDED 30" IN WIDTH AND TO 27" CLEAR ABOVE FINISH FLOOR FOR A DEPTH OF AT LEAST 19".
3. FURNITURE VENDOR SHALL ENSURE THAT ALL DINING ROOM FURNITURE AND ACCESSORIES SUPPLIED COMPLIES WITH APPLICABLE ACCESSIBILITY REQUIREMENTS. (ADA) REQUIREMENTS INCLUDE, NOT LIMITED TO:

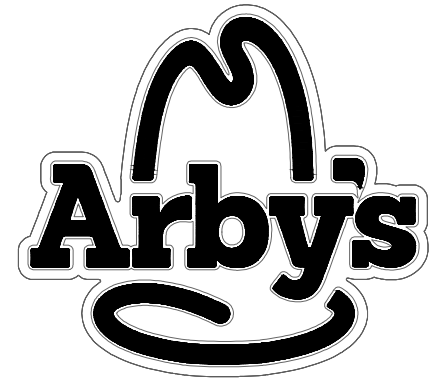
226.1 GENERAL. WHERE DINING SURFACES ARE PROVIDED FOR THE CONSUMPTION OF FOOD OR DRINK, AT LEAST 5% OF THE SEATING/STANDING SPACES SHALL COMPLY WITH SEC. 902.

226.2 DISPERSION. DINING SURFACES AND WORK SURFACES REQUIRED TO COMPLY WITH SEC. 902 SHALL BE DISPersed THROUGHOUT THE SPACE OR FACILITY

902.2 CLEAR FLOOR SPACE. A CLEAR FLOOR SPACE COMPLYING WITH SEC. 305 POSITIONED FOR A FORWARD APPROACH SHALL BE PROVIDED, KNEE AND TOE CLEARANCE COMPLYING WITH SEC. 306 SHALL BE PROVIDED.

902.3 HEIGHT. TOP OF DINING SURFACES SHALL BE 28" MIN - 34" MAX AFF

CONDIMENT COUNTER AND ALL SELF-SERVE SHELVES AND DISPENSING DEVICES FOR TABLEWARE, DISHWARE, CONDIMENTS, FOOD AND BEVERAGE SHALL BE INSTALLED TO COMPLY WITH SEC. 306 REACH RANGE REQUIREMENTS.



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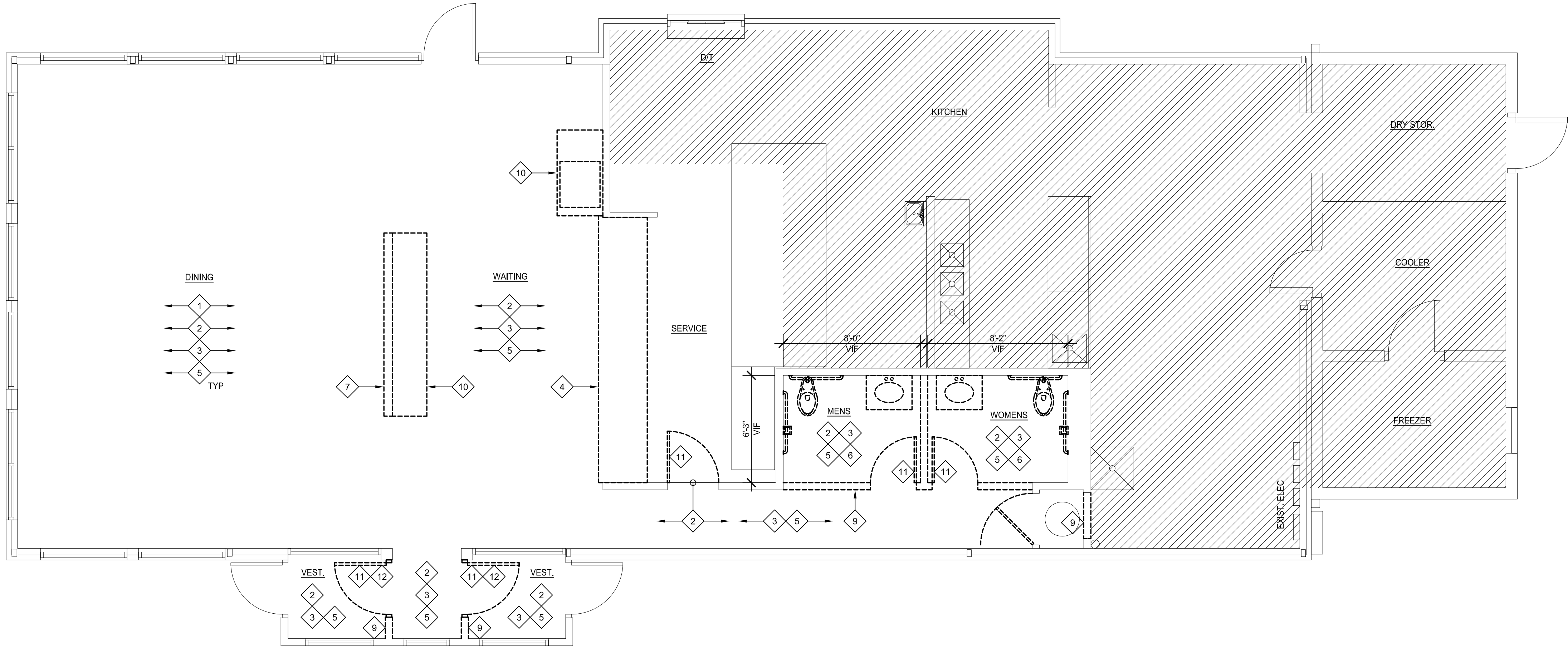
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G102
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GENERAL DEMOLITION NOTES

- THESE PLANS INDICATE GENERAL DEMOLITION SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER INCIDENTAL DEMOLITION WORK REQUIRED TO COMPLETE THE BUILDING ALTERATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS. FIELD VERIFICATION OF DEMOLITION ITEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TO BE PERFORMED PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER OF ANY DISCREPANCIES.
- CONTRACTOR TO ENSURE THAT ANY MERCHANDISE OR ITEMS TO REMAIN WITHIN THE CONSTRUCTION AREAS ARE PROPERLY PROTECTED, COVERED (VISQUEEN OR OTHER APPROVED MEANS) AND AREAS OF WORK ARE CONTAINED TO OWNER'S STANDARDS FOR DUST CONTROL AND NOISE. COORDINATE w/ OWNER ALLOWABLE HOURS OF WORK, PROCEDURE, STAGING AND CONDITIONS/LIMITATIONS.
- PROTECT PUBLIC TRAFFIC AS SET FORTH BY APPLICABLE JURISDICTIONAL REGULATIONS. CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCING OR BARRICADES AS REQUIRED PRIOR TO START OF WORK.
- PROTECT ALL EXISTING UTILITIES, SURFACES, FINISHES, EQUIPMENT, ETC. THAT ARE TO REMAIN FROM DAMAGE DURING THE WORK. ITEMS DAMAGED OR IMPAIRED DURING THE COURSE OF WORK SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION BY CONTRACTOR PER OWNER'S PROCEDURE AND CONTRACT TERMS.
- EGRESS, EMERGENCY LIGHTING, EXIT SIGNS, FIRE PROTECTION (LIFE SAFETY SYSTEMS) SHALL BE MAINTAINED OPERATIONAL DURING COURSE OF WORK AS REQUIRED PER LOCAL FIRE DEPT.
- WHERE ANY UTILITIES OR PORTIONS THEREOF HAVE BEEN REMOVED, PLUG AND CAP PIPES, CONDUITS, DUCT, ETC. BELOW FLOOR, BEHIND FACE OF WALL OR ABOVE CEILING AS NECESSARY TO CONCEAL ABANDONED ITEMS. ABANDONED WIRE TO BE REMOVED BACK TO SOURCE IN ACCORDANCE w/ APPLICABLE CODES.
- FURNITURE, EQUIPMENT, SHELVING, ETC. NOT BEING RE-USED SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR. CONFIRM w/ OWNER EACH ITEM TO BE RETAINED FOR SALVAGE.
- REMOVE ALL FASTENERS, SUPPORTS, HANGERS, BACKINGS, ADHESIVES AND ACCESSORIES ASSOCIATED WITH REMOVED EQUIPMENT, FIXTURES, ITEMS OR FINISHES. PATCH SUBSTRATE AND SURFACES TO RECEIVE FINISH OR TREATMENT MATCHING ADJACENT. FILL/PATCH ANY HOLES LEFT BY REMOVED FASTENERS TYP.
- AREAS INDICATED TO BE DEMOLISHED OR REMOVED ARE APPROXIMATE. EXTEND AREA OF REMOVAL AS APPROPRIATE TO NEAREST EXIST. JOINT, FULL CEILING TILE, ETC. AREAS OF FLOOR SLAB SAW CUTTING OR TRENCHING IF INDICATED ON PLANS IS APPROXIMATE. EXACT DIMENSIONS AND LOCATIONS OF SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
- RETAIN EXISTING STRUCTURE TYPICAL. VERIFY IN FIELD COLUMNS, LOAD-BEARING WALLS, AND SHEAR WALL FRAMING SHEATHING HOLD-DOWNS AND OTHER CONNECTIONS. MAINTAIN CAPACITY OF SAME AT ALL TIMES. TEMPORARY BRACING OR SHORING IF REQUIRED BY CONTRACTOR.

DEMOLITION KEYED NOTES

- REMOVE EXISTING FURNITURE TABLES AND CHAIRS
- REMOVE EXISTING FLOORING AND WALL BASE
- REMOVE EXISTING WALL FINISHES AND TRIM
VERIFY WITH OWNER RE: EXISTING CASINGS TO REMAIN
- REMOVE EXISTING COUNTERTOP TO BE REPLACED
RETAIN EXISTING CASEWORK FOR RE-USE
- REMOVE EXISTING CEILING-MOUNTED LIGHT FIXTURES
RETAIN EXISTING CIRCUITS FOR RE-USE
- REMOVE EXISTING RESTROOM FIXTURES
GRAB BARS MIRROR AND ACCESSORIES
- REMOVE EXISTING LOW WALL IN ENTIRETY
- [NOT USED]
- REMOVE EXISTING PARTITION TO EXTENT INDICATED
COORD. w/ PROPOSED WORK
- REMOVE EXISTING COUNTERTOP AND CASEWORK IN ENTIRETY
- REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE
- REMOVE EXISTING STOREFRONT FRAMING AND GLAZING
TO EXTENT INDICATED. COORD. w/ PROPOSED WORK

* REMOVE ALL EXISTING INTERIOR DECOR AND GRAPHICS
COORDINATE WITH OWNER'S CONSTRUCTION MGR.

LEGEND

===== EXIST. WALL OR ITEM TO BE REMOVED
===== EXIST. WALL OR ITEM TO REMAIN



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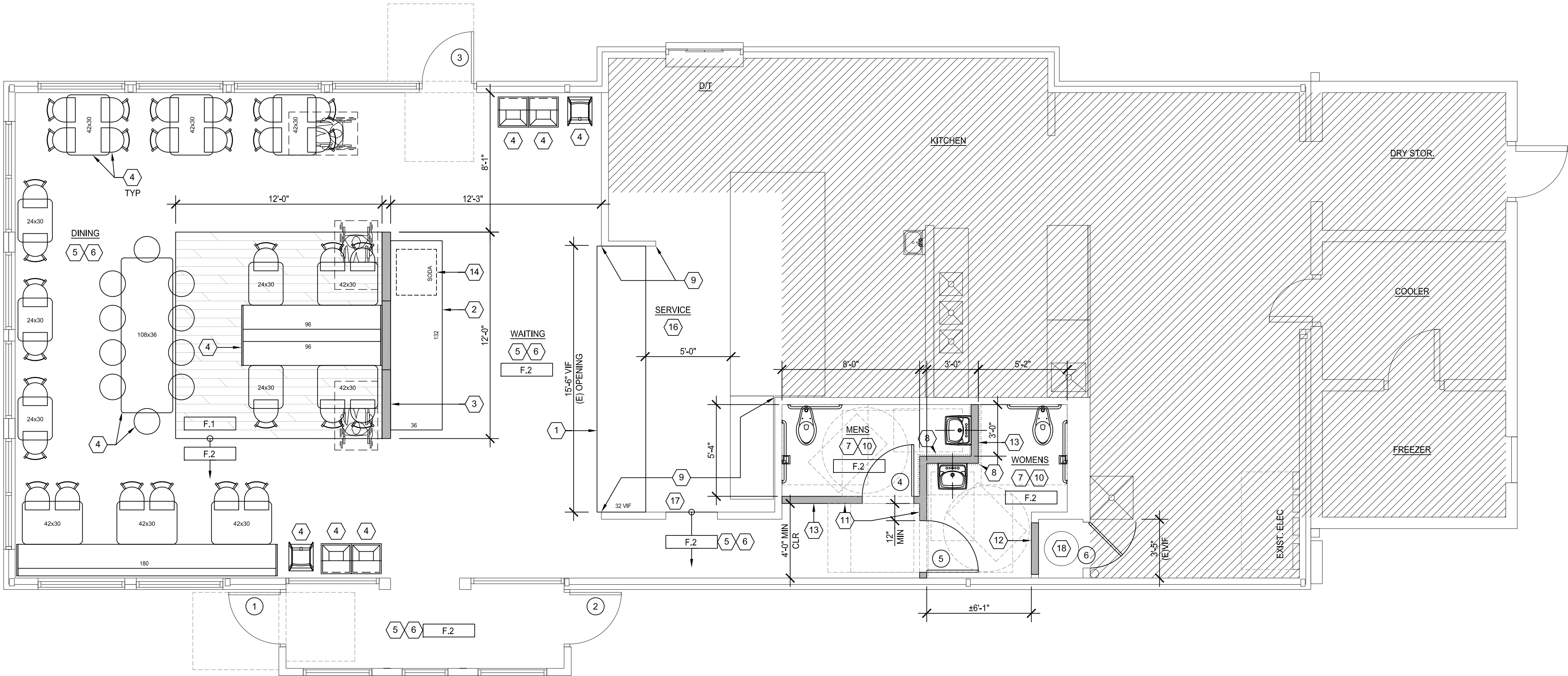
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DO NOT SCALE DRAWINGS



GENERAL FLOOR PLAN NOTES

1. FIELD VERIFICATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PERFORMED PRIOR TO START OF WORK.
2. COORDINATE AND CONFIRM w/ OWNER FOR ITEMS TO BE SUPPLIED BY OWNER, OWNER'S VENDORS OR OTHERS, AND INSTALLED BY CONTRACTOR.
3. PROVIDE FRT BLOCKING BACKING AS REQUIRED AT WALL MOUNTED FIXTURES, EQUIPMENT, CABINETS, SHELVING, RAILINGS, HANDRAILS, ACCESSORIES, ETC. PROVIDE FIRESTOPPING WITHIN PROPOSED INTERIOR WALLS AT CEILING AS REQUIRED.
6. DIMENSIONS ARE FROM FACE OF WALLBOARD, U.N.O. VERIFY DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION.
4. SIGNAGE, CONTROLS AND OPERATING MECHANISMS SHALL COMPLY WITH APPLICABLE ACCESSIBILITY CODES.
5. AREAS OF CONCRETE REMOVAL/TRENCHING, RESTORE UNDERLYING SUBSTRATE, VAPOR BARRIER, CONC. SLAB AS REQUIRED. DOWEL #4 24" OC MIN.

FLOOR PLAN KEYED NOTES

- 1 SERVICE COUNTER: REPLACEMENT COUNTERTOP ACCESSIBLE-HEIGHT SOLID-SURFACE FRONT FACE (PUBLIC SIDE) OF CASEWORK TO RECEIVE SUBWAY TILE FINISH BY SEATING VENDOR
- 2 REPLACEMENT CONDIMENT / DRINK STATION ACCESSIBLE-HEIGHT SOLID-SURFACE COUNTERTOP FURNISHED AND INSTALLED BY SEATING VENDOR
- 3 DECOR WALL - GC TO PROVIDE REFER TO OWNER'S DECOR DRAWINGS
- 4 DINING AREA FURNITURE, FURNISHED AND INSTALLED BY FURNITURE VENDOR CONFIRM FINAL SIZES AND LAYOUT w/ OWNER'S VENDOR
- 5 REPLACE FLOOR FINISH AND WALL BASE. SEE GENERAL FINISH NOTES REFER TO OWNER'S DECOR DWGS
- 6 REPLACE WALL FINISHES. SEE GENERAL FINISH NOTES REFER TO OWNER'S DECOR DWGS
- 7 RESTROOM TYP. REPLACE w/ TILE FINISH THROUGHOUT WALLS, FLOOR, COVE BASE
- 8 COLOR 'RED' TILE, THIS WALL ONLY (DOTTED LINE)
- 9 SERVICE AREA WALLS EXPOSED TO PUBLIC VIEW INSTALL SIMULATED SUBWAY TILE. SEE PLAN FOR EXTENTS
- 10 REPLACE RESTROOM FIXTURES TYP REF G102 FOR ACCESSIBLE HEIGHTS & CLEARANCES
- 11 REINSTALL RESTROOM SIGNAGE (VIF)
- 12 INFILL EXISTING OPENING. MATCH EXIST. CONSTRUCTION AND ADJ. FINISH
- 13 PARTITION / PATCH AS REQUIRED TO MATCH EXISTING ADJ. CONSTRUCTION. 2X4 FRAMING w/ 1/2" MOISTURE RESISTANT GYP BD BOTH SIDES. 1/2" CEMENT BD TO +24" AFF (2x6 FRAMING AT PLUMBING WALL - SEE PLAN) BATT INSULATION (S.A.B. TYP RESTROOMS) DINING-SIDE: FINISH TO MATCH ADJACENT / DECOR RESTROOM-SIDE: TILE PER DECOR
- 14 REPLACE SODA MACHINE. BY OWNER'S VENDOR COORD. REQUIREMENTS AND FINAL LOCATION w/ OWNER
- 15 [NOT USED]
- 16 FLOORING AND BASE. PATCH AS REQUIRED MATCH ADJACENT TYP AT REPLACED CASEWORK OR EQUIPMENT
- 17 PROVIDE / PATCH EXISTING CASING OR FRAME AT OPENING VIF PAINT OR STAIN TO MATCH DECOR
- 18 EXISTING ELEC. WATER HEATER. RELOCATE CONTROLS FOR ACCESS SERVICE SIDE AS REQUIRED

FLOORING SCHEDULE

GC FURNISH AND INSTALL. PURCHASE THROUGH ARBY'S NATIONAL ACCOUNT.	
F.1	ACCENT AREA IN DINING. LAY IN DIRECTIONAL PATTERN PER PLAN TILE: STONEPEAK - COTTAGE, 6" x 24" COLOR: MOUNTAIN RETREAT CUSTOM BUILDING PRODUCTS #60 CHARCOAL
F.2	TYPICAL PUBLIC AREAS - DINING, WAITING, VESTIBULES, RESTROOMS TILE: STONEPEAK - SIMPLY MODERN, 12" x 12" COLOR: COFFEE GROUT: CUSTOM BUILDING PRODUCTS #60 CHARCOAL

RESTROOM FIXTURES

ALL FIXTURES AND ACCESSORIES SHALL BE ADA-COMPLIANT INSTALLED TO COMPLY WITH ACCESSIBLE HEIGHTS, DIMENSIONS AND CLEARANCES. GC VERIFY IN FIELD NO SUBSTITUTIONS UNLESS APPROVED BY OWNER. FIXTURE MFR, ZURN INDUSTRIES.	
WC	Z5665-BWL1 1.28 GPF WATER CLOSET ZER6000AV-HET FLUSHMETER Z5955SS-EL SEAT
LAV	Z5344 LAVATORY Z6915-CWB-F FAUCET Z8743-6-PC DRAIN Z8702-SBWCX-WC-PC TRAP Z8802-XL-LR4-K-Q-PC SUPPLY ZW1070XL TMV Z8946-1-NT PIPING COVER Z1231-FIZ-5344 CARRIER
MB	Z1996-24 MOP BASIN FLOOR-MOUNTED Z843M1-XL-CS FAUCET J1996-HH HOSE & BRACKET J1996-MH MOP HANGER J1996-BS24 BUMPER GUARDS J1996-WG24 WALL GUARDS
	GRAB BARS BOBRICK B-550 MIRROR 18"W x 30"H TEMPERED GLASS BOBRICK B-290 TOILET PAPER DISPENSER BOBRICK B-2888 SANITARY NAPKIN RECEPTACLE BOBRICK B-270 (WOMENS ONLY) FURNISHED BY OWNER: PAPER TOWEL DISPENSER DIAPER CHANGING STATION SOAP DISPENSER

1 FLOOR PLAN
1/4" = 1'-0"

DINING SEATING

DESC	QTY	PERSONS
2-TOP	5	10
4-TOP	8	32
COMMUNITY	1	10
TOTAL		52

ACCESSIBLE ROUTE IN DINING AREAS
AISLE MEASUREMENT SHALL BE MADE 19" MIN FROM AND PARALLEL TO FROM EDGE OF NON-FIXED TABLES FOR SEATING.

36" MIN AISLE SERVING ONE-SIDE
42" MIN AISLE SERVING BOTH-SIDES

LEGEND

	EXIST. PARTITION OR ITEM
	PROPOSED PARTITION OR ITEM

GENERAL FINISH NOTES

1. SEATING, DECOR ELEMENTS, INTERIOR GRAPHICS AND MENU BOARDS FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR, TYP.
2. PATCH SUBSTRATES AND FINISHES AS REQUIRED TO MATCH ADJACENT WHERE FIXTURES OR ITEMS HAVE BEEN REMOVED OR REPLACED LEAVING FINISH EXPOSED TO VIEW. SEAL PENETRATIONS AS REQUIRED.
3. CONTRACTOR SHALL FIELD VERIFY COORDINATE TEMPORARY DISCONNECTION AND/OR REMOVAL OF EXISTING ITEMS, EQUIPMENT, PIPE, CONDUIT, ETC. AS REQUIRED TO ALLOW FOR PROPER INSTALLATION OF PROPOSED FINISHES. RESTORE REINSTALL SAME AT THEIR ORIGINAL LOCATIONS UPON COMPLETION OF FINISH INSTALLATION, TYPICAL U.N.O.
4. RETURN FINISHES AS SCHEDULED CONTINUOUS UPON WALL SURFACES FOR ENTIRE ROOM OR SPACE, UNLESS NOTED OTHERWISE. PROVIDE TRANSITION TRIM BETWEEN DISSIMILAR FINISHES AND FINISH TERMINATIONS.
5. PROVIDE MOISTURE-RESISTANT BACKER BEHIND CERAMIC TILE TYPICAL.
6. EASE EDGES OF ALL WOOD TRIM INSTALLED, TYPICAL. SAND WD TRIM, SURFACES, AND PANELS AS REQUIRED. PREPARE SURFACES FOR APPLICATION OF FINISH. PROVIDE STAINED/PAINTED SAMPLE TO OWNER'S CM PRIOR TO INSTALLATION.
7. TYPICAL THROUGHOUT PUBLIC AREAS - DINING AREA, WAITING AREA, VESTIBULES, CORRIDOR TO RESTROOMS. CONTRACTOR TO INSTALL FINISHES PER DECOR PACKAGE.

REFER TO OWNER'S DECOR DRAWINGS.
DECOR PACKAGE: "INSPIRE"
 - CHAIR RAILS AND TRIMS.
 - WAINSCOT. FROM T/ WALL BASE TO B/ CHAIR RAIL.
 - WALL COVERINGS. FROM T/ CHAIR RAIL TO B/ OF CEILING. PER DECOR DWGS.
8. TYPICAL THROUGHOUT RESTROOMS: INSTALL TILE - FLOOR, WALL AND BASE.
9. TYPICAL THROUGHOUT KITCHEN: PATCH / REPAIR AND CLEAN EXISTING FINISHES.
10. OWNER'S VENDOR SHALL COORDINATE ALL CASEWORK, COUNTER CUTOUTS AND GROMMETS PER STORE-SPECIFIC EQUIPMENT. INSTALLATIONS BY APPROVED VENDOR ONLY.
11. FOLLOW INSTALLATION GUIDELINES PER MFR LITERATURE AND SPECIFICATIONS.
12. PROVIDE STAINLESS STEEL SCHLUTER QUADEC EDGE PROTECTION STRIP AT 90 DEGREE OUTSIDE CORNERS AND STAINLESS STEEL SCHLUTER DECO-DE PROTECTION STRIP AT 135 DEGREE OUTSIDE CORNERS OF CERAMIC WALL TILE, REFER TO DECOR DRAWINGS.
13. COVED BASE IS REQUIRED IN THE KITCHEN, BEVERAGE BAR AREA AND RESTROOMS.
14. WALKING SURFACES TO HAVE SLIP RESISTANT SURFACE AND BE SECURELY ATTACHED TO SUBFLOOR, CHANGES IN THE FLOOR ELEVATION SHALL NOT EXCEED 1/4". FLOOR FINISHES SHALL COMPLY WITH IBC SECTION 1003.4 AND ICC/ANSI 117.1
15. ALL INTERIOR FINISHES SHALL COMPLY WITH IBC SECTION 803 AND TABLE 803.5.

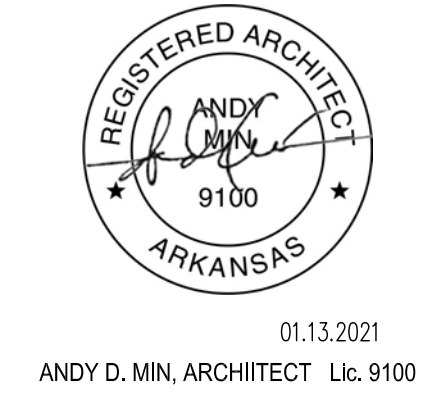
DOOR NOTES & SCHEDULE

1. TYPICAL EXISTING DOORS: PUBLIC ENTRY AND RESTROOMS: VERIFY WIDTH, HARDWARE CLOSER OPENING FORCE, THRESHOLD, ETC. REF: G102
 2. RETAIN EXISTING OCCUPANCY AND RESTROOM SIGNAGE. REINSTALL UPON COMPLETION OF WORK. RESTROOM SIGNS TO BE MOUNTED 60" AFF LATCH SIDE OF DOOR. REF: G102
 3. SERVICE OR REPAIR AND RESEAL EXISTING DOORS, ASSOCIATED HARDWARE AND THRESHOLDS TO LIKE-NEW CONDITION. REMOVE AND REPLACE WEATHER STRIPPING AS NEEDED.
 4. VERIFY AND INSTALL DOOR STOPS IF MISSING OR WORN, TYP. EXTERIOR DOORS.
 5. MAINTAIN ACCESSIBLE CLEARANCES AT ENTRANCES VESTIBULES AND RESTROOMS. REF: G102
 6. DOOR HARDWARE TO BE ADA-COMPLIANT
 7. COORDINATE DOOR AND HARDWARE PACKAGE WITH OWNER PRIOR TO ORDERING OR INSTALLATION
 8. EXIT DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE
- EXISTING TO REMAIN.
3'-0" X 7'-0" STOREFRONT GLASS DOOR AND FRAME. VIF VERIFY PANIC HARDWARE. RETROFIT OWNER FURNISHED TOE KICK PANEL IF BOTTOM STILE IS LESS THAN 10". REFURBISH AND CLEAN.
- 3'-0" X 7'-0" VIF SC WOOD P.LAM (STAINED) DOOR PROVIDE CASING OR FRAME TO MATCH EXISTING PAINT OR FINISH TO MATCH DECOR
VERIFY HARDWARE OR OWNER-APPROVED EQ:
1-1/2 PR HINGES HAGER EC8B 1100 26D
HAGER 5100 GRADE 1 HEAVY-DUTY SURFACE
INSTALL w/ TAMPER RESISTANT TORX SCREWS
SCHLAGE B571 COMMERCIAL RR INDICATOR
HAGER 33L 26D 4x16"
HAGER 305 26D 4x16"
HAGER 1905 32D 8x24" (2) EA. DOOR JAMB MOUNTED. (3) EA. DOOR HAGER DOME-TYPE 26D FLOOR OR WALL AS APPROPRIATE
- PRIVACY LOCK
PULL BAR
PUSH PLATE
KICKPLATE
SILENCERS
STOP
- 2'-8" X 7'-0" HM DOOR AND HM FRAME. PAINT 1-1/2 PR. HINGES, LATCH SET
VERIFY WATER HEATER WIDTH



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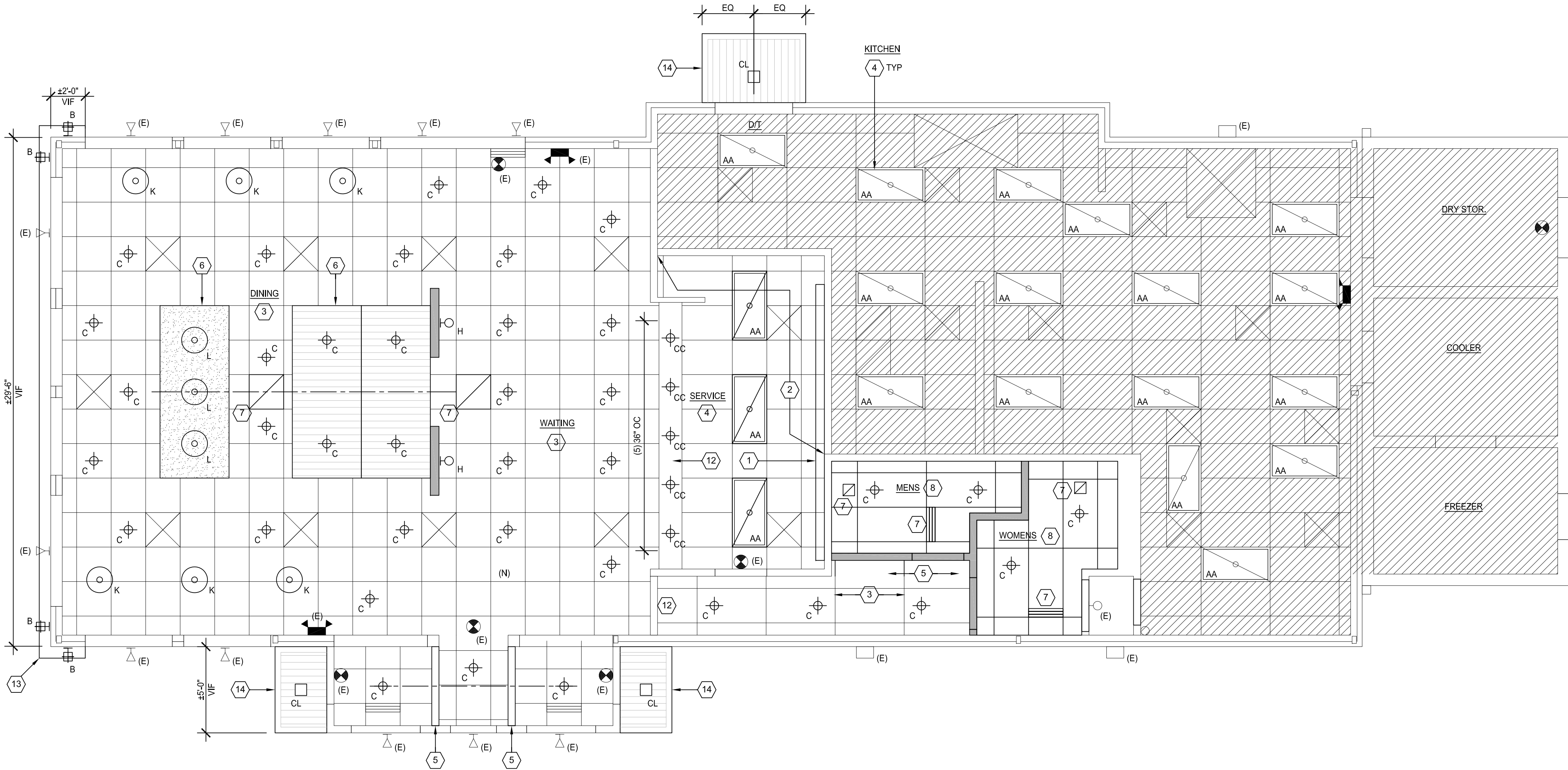
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GENERAL CEILING PLAN NOTES

- CENTER CANOPY/GRID/TILE OVER ASSOCIATED AREA OR ROOM. PATCH CEILINGS AND SOFFITS AS REQUIRED TO MATCH ADJACENT ALIGNMENT, MATERIAL AND FINISH.
- BALLAST BOXES, TRANSFORMERS, JUNCTION BOXES, AND WIRING FOR ALL LIGHT FIXTURES TO BE INSTALLED HIDDEN FROM VIEW.
- ANY LIGHT FIXTURES INSTALLED WITHIN FOOD PREP AREAS SHALL BE SHATTER RESISTANT SHIELDED.
- ONE FOOT-CANDLE (FC) MEASURED AT FLOOR SHALL BE PROVIDED FOR ALL EXIT ACCESS PATHS AND AT EXTERIOR OF ALL EXIT DOORS.
- GC COORDINATE LIGHT CIRCUITING AND SWITCH LOCATION w/ OWNER AS REQUIRED. REPLACEMENT LIGHT FIXTURES TO BE CONNECTED TO EXISTING LIGHTING CIRCUIT.
- EXTEND EXISTING CIRCUITS FOR LIGHTING AND SIGNAGE. RELOCATE OR PROVIDE JUNCTION BOX AT FINAL LOCATION AS REQUIRED. PROVIDE BLKG AND BACKING AS REQUIRED.
- LIGHT FIXTURES THAN PROTRUDE 4" OR MORE INCHES FROM WALL SHALL BE MOUNTED 84" AFF MIN OR WALKING SURFACE BELOW RESTRICTED PER (ADA) REQUIREMENTS.
- GC TO CONNECT CEILING SPEAKERS PER OWNER'S DIRECTION. COORDINATE w/ OWNER'S CONSTRUCTION MGR.
- PROVIDE REPLACEMENT CEILING TILE AND/OR PATCH CEILING AS REQUIRED WHERE LIGHT FIXTURES HAVE BEEN REMOVED, WALLS OR SOFFITS ALTERED, TYPICAL.
- PROVIDE PROCOUSTIC PAINT FOR ALL SUSPENDED ACOUSTIC CEILING TILES IN DINING AREA.
- PATCH SOFFITS BULKHEADS ETC AS REQUIRED WHERE TRIM OR DECOR HAS BEEN REMOVED TYP. FINISH TO MATCH ADJACENT.
- CEILING TILE OVER KITCHEN / FOOD PREP AREAS TO BE VINYL-FACED

CEILING PLAN KEYED NOTES

- GC REMOVE EXISTING MENU BOARDS. OWNER'S VENDOR TO INSTALL DIGITAL MENU BOARD REPLACEMENT
- INSTALL SIMULATED SUBWAY TILE ENTIRE FACE OF EXISTING BULKHEAD
- EXISTING CEILING. SUSPENDED GRID AND TILE SYSTEM. PAINT GRID AND TILE TO MATCH - ARMSTRONG #1732 'ADOBE'
- REPLACE EXIST. GENERAL LIGHT FIXTURES IN SAME LOCATIONS (1-FOR-1) EXISTING CEILING TO REMAIN. REPAIR CLEAN TO LIKE-NEW CONDITION
- PATCH BULKHEAD / HEADER / CEILING MATCH EXISTING CONSTRUCTION AND ADJACENT FINISH. HEIGHT AFF
- PREFABRICATED SOFFIT. 4'X10' VERIFY EXISTING CEILING HEIGHT AFF IN FIELD SUPPLIED BY OWNER INSTALLED BY SEATING VENDOR SEE DETAIL THIS SHEET
- RELOCATED EXISTING AIR DEVICE (VIF)
- SUSPENDED GRID AND TILE SYSTEM. PAINT GRID TO MATCH - ARMSTRONG #1732 'ADOBE' ARMSTRONG #1732 FINE FISSURED ANGLED REGULAR MATCH EXISTING HEIGHT AFF
- [NOT USED]
- [NOT USED]
- [NOT USED]
- PAINT EXISTING SOFFIT / BULKHEAD
- LINE OF SIGNAGE BAND, BY SIGN VENDOR - SEE EXTERIOR ELEVATIONS
- LINE OF CANOPY, BY SIGN VENDOR - SEE EXTERIOR ELEVATIONS

LEGEND

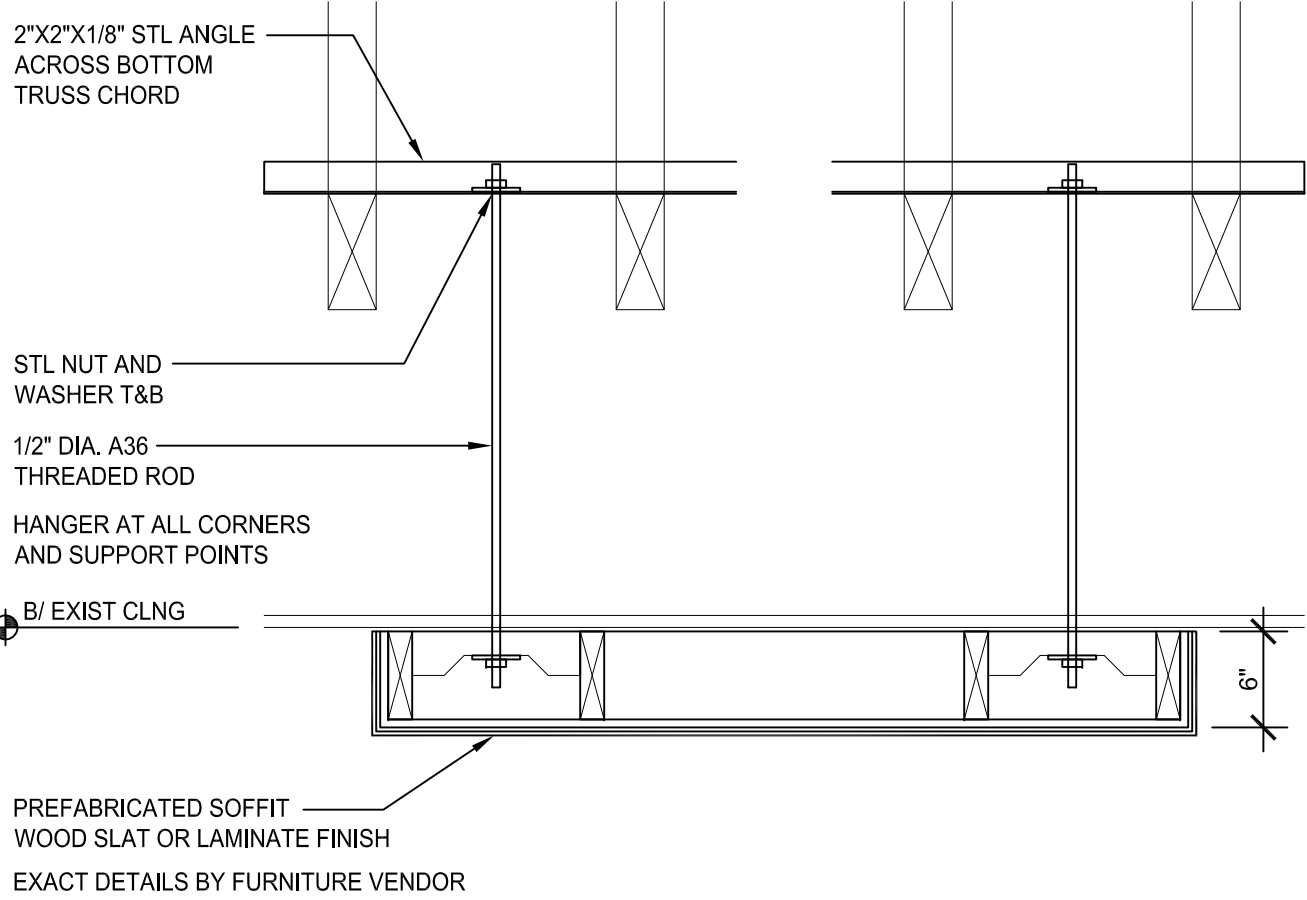
- EXIST. PARTITION OR ITEM
- PROPOSED PARTITION OR ITEM

1 REFLECTED CEILING PLAN

1/4" = 1'-0"



SEE EXTERIOR ELEVATIONS FOR EXTERIOR LIGHTING



1 SOFFIT DETAIL

1" = 1'-0"

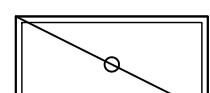
LIGHTING SCHEDULE

- ALL LIGHT FIXTURES, ASSOCIATED LAMPS AND ACCESSORIES FURNISHED BY OWNER INSTALLED BY CONTRACTOR
- IN PUBLIC AREAS, LIGHT FIXTURES PER TYPE SHALL MATCH IN OUTPUT LUMENS. ALL LIGHT FIXTURES TO BE SAME COLOR TEMPERATURE.
- VERIFY FIXTURE FINISH AND LAMP QUANTITIES W/ OWNER
- EMERGENCY LIGHTING FIXTURES AND ILLUMINATED EXIT SIGNS TO BE EQUIPPED WITH 90 MINUTES MIN OF BACKUP BATTERY POWER.
- EXTERIOR LIGHT FIXTURES TO BE U.L. LISTED FOR EXTERIOR / WET LOCATIONS TYP.
- PROVIDE FLANGE KIT FOR FIXTURE INSTALLATION IN HARD CEILINGS
- PRIOR TO ORDERING VERIFY DIMENSIONS FOR FITMENT AND CONDITIONS WHERE LIGHT FIXTURES ARE INTENDED AS DIRECT REPLACEMENT.

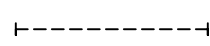
(E) = EXISTING TO REMAIN. NOTE: NOT ALL FIXTURE TYPES SHOWN MAY BE USED.



TYPE 'A' LED REPLACEMENT LIGHT FIXTURE. INSTALL IN EXISTING LOCATION 24"X24" GRID-MOUNTED TROFFER w/ ACRYLIC DIFFUSER



TYPE 'AA' LED REPLACEMENT LIGHT FIXTURE. INSTALL IN EXISTING LOCATION 48"X24" GRID-MOUNTED TROFFER w/ ACRYLIC DIFFUSER



TYPE 'J' LED ROPE LIGHTING, ACCENT LIGHT COVE-MOUNTED, SUPPLIED BY OWNER



TYPE 'M' EMERGENCY EGRESS LIGHT FIXTURE, WALL-MOUNTED w/ BATTERY BACKUP JUNO 'NSLBZSDCB' OR EQ.



TYPE 'X' ILLUMINATED EXIT SIGN, CEILING-MOUNTED w/ BATTERY BACKUP JUNO 'NXPCL3GW' OR EQ.



TYPE 'CL' CANOPY LIGHT AT ENTRANCES AND D/T LOW-PROFILE LED LUMINAIRE 'RSC1' CIRCUITS FOR POWER AND EMERGENCY OPERATION



TYPE 'WP' LED LIGHT FIXTURE, EXTERIOR WALL PACK GENERAL ELECTRIC 'EWS30E3E1401' OR EQ



TYPE 'B' LED REPLACEMENT, EXTERIOR WALL SCONCE LITHONIA 'OLLWU-WH' OR EQ.



TYPE 'C' LED REPLACEMENT LIGHT FIXTURE. INSTALL IN EXISTING LOCATION RECESSED DOWNLIGHT CREE 'KR-6' 13L 27K. SSGC OR EQ.



TYPE 'CC' LED REPLACEMENT LIGHT FIXTURE. INSTALL IN EXISTING LOCATION RECESSED DOWNLIGHT CREE 'KR-6' 13L 40K. SSGC OR EQ.



TYPE 'H' LED 'INSPIRE' INTERIOR WALL SCONCE, TECH LIGHTING - LYNN SCONCE 700BCLYNNWZ CENTERED ON WALLS 66" AFF



TYPE 'K' LED LIGHT FIXTURE. CONNECT TO LOCAL LIGHTING CIRCUIT SUSPENDED DECORATIVE PENDANT, KICHLER 420460Z CENTERED ABOVE TABLE TOPS 66" AFF



TYPE 'L' LED LIGHT FIXTURE. CONNECT TO LOCAL LIGHTING CIRCUIT SUSPENDED DECORATIVE PENDANT, KICHLER 78200' OR EQ. CENTERED ABOVE TABLE TOPS 78" AFF



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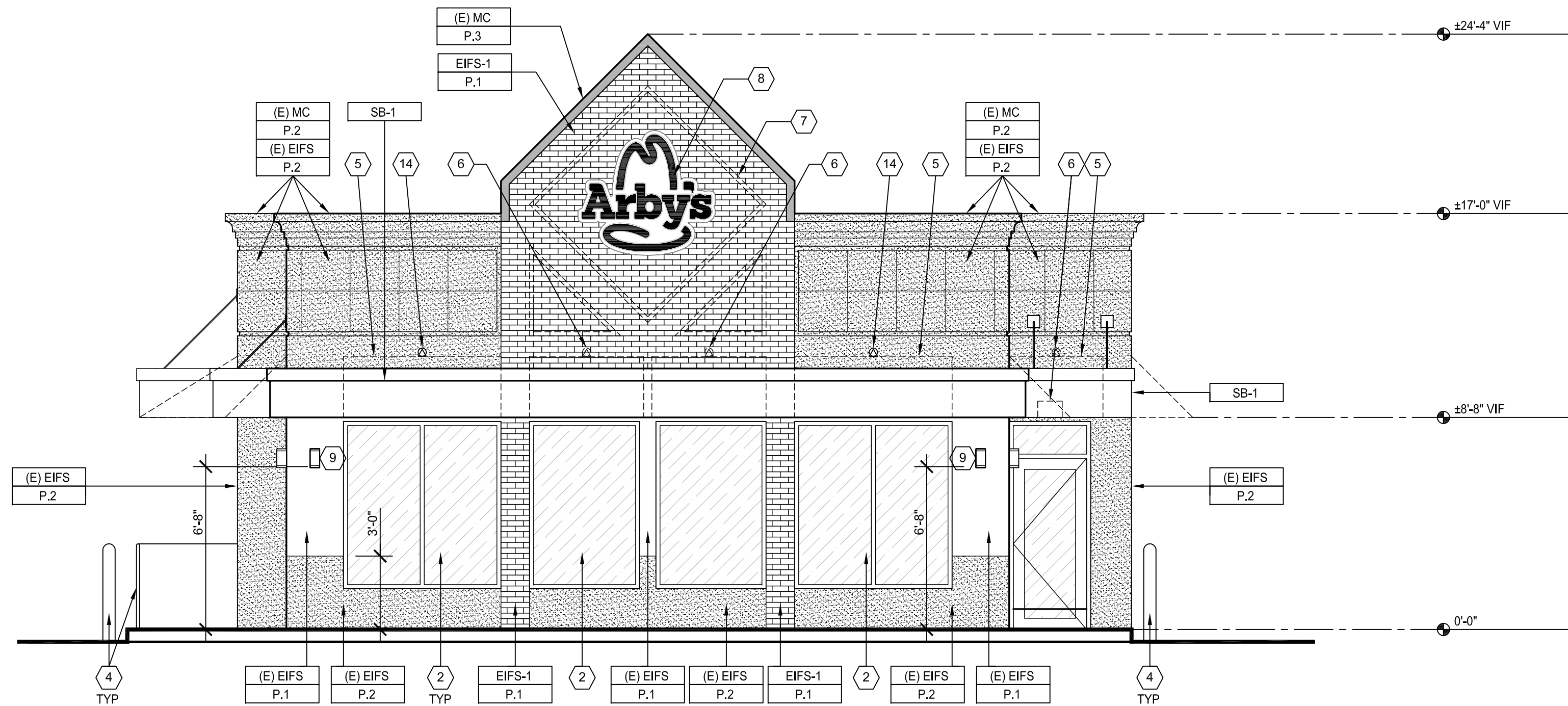
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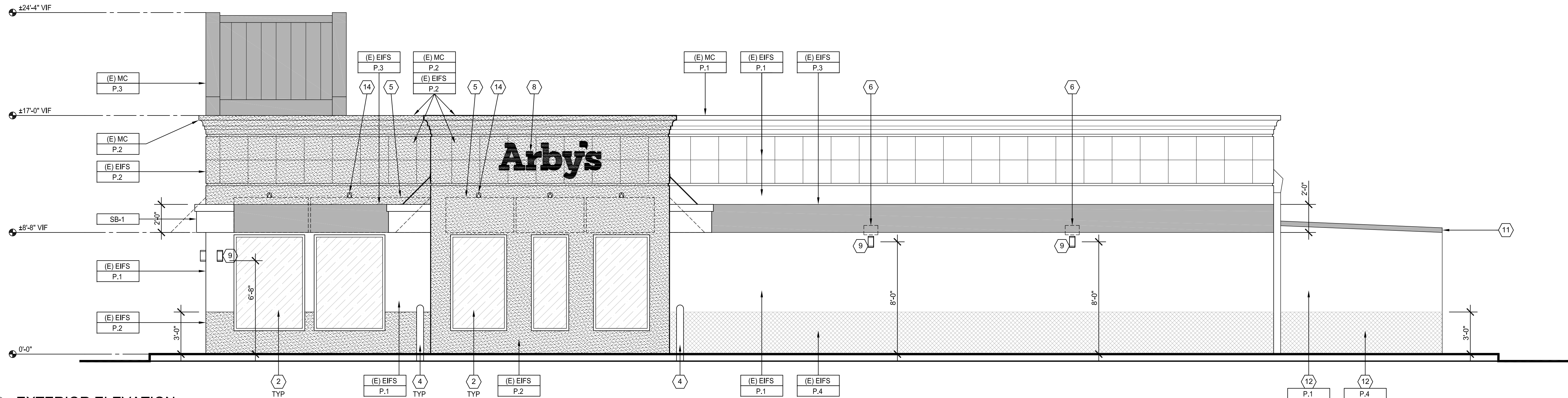
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DO NOT SCALE DRAWINGS



1 EXTERIOR ELEVATION
1/4" = 1'-0"



2 EXTERIOR ELEVATION
1/4" = 1'-0"

GENERAL NOTES

- ALL EXTERIOR SIGNAGE, CANOPIES AND GRAPHICS - UNDER SEPARATE PERMIT.
- GC TO CONFIRM ELEC. J-BOX EXISTS FOR REPLACEMENT ILLUMINATED SIGNS AND LIGHT FIXTURES OR OTHERWISE EXTEND EXISTING CIRCUIT TO LOCATION. CONFIRM FRT BLOCKING IS IN PLACE OR OTHERWISE PROVIDE FOR PROPOSED SIGNAGE AND CANOPIES PER REQUIREMENTS OF SUPPLIER
- DRAWINGS ARE APPROXIMATE, TO CONVEY DESIGN INTENT. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK.
- MAINTAIN EXISTING STRUCTURAL INTEGRITY OF BUILDING ENVELOPE. NOTIFY OWNER'S CONSTRUCTION MGR. OF ANY DISCREPANCIES OR CONFLICTS.
- PREPARE SUBSTRATES AND SURFACES TO RECEIVE FINISHES CLADDINGS PAINT PER PRODUCT MFR. GUIDELINES.
- PATCH AND REPAIR SUBSTRATES AND SURFACES AS REQUIRED. TYPICAL. FILL ANY HOLES OR PENETRATIONS LEFT BY REMOVED FIXTURES OR FASTENERS TO MATCH ADJACENT CONSTRUCTION AND FINISH.
- PENETRATIONS AND ATTACHMENTS TO EXTERIOR SHALL BE CAPPED, FLASHED AND/OR SEALED TO BE WETHER-TIGHT BY CONTRACTOR.
- RETAIN EXISTING ROOF DRAINAGE DOWNSPOUTS SCUPPERS ETC. UNLESS NOTED OTHERWISE. CLEAN AND SERVICE TO GOOD WORKING ORDER.
- ALTERATIONS TO EIFS (EXTERIOR INSULATION FINISH SYSTEM) SHALL BE MADE WITH ALL NECESSARY DETAILING PER MFR. STANDARD INSTALLATION GUIDELINES AS REQUIRED TO MAINTAIN WARRANTY. PROVIDE FLASHINGS, SEALANTS, BACKERS, MOISTURE BARRIERS, ACCESSORIES, ETC FOR COMPLETE WORK.

DRYVIT EIFS SYSTEM w/ WATER MANAGEMENT SYSTEM, OR APPROVED EQUAL. PROVIDE SUBMITTAL w/ DETAILS PRIOR TO ORDERING OR INSTALLATION.

- LIGHT FIXTURES THAN PROTRUDE 4" OR MORE INCHES FROM WALL SHALL BE MOUNTED 84" AFF MIN OR WALKING SURFACE BELOW RESTRICTED PER (ADA) REQUIREMENTS.
 - CORROSION RESISTANT FINISH SHALL BE PROVIDED FOR SHEET METALS. FASTENERS NAILS BOLTS WASHERS TO BE GALVANIZED FOR EXTERIOR USE. DISSIMILAR METALS SHALL BE GASKETED OR SEPARATED FROM DIRECT CONTACT.
 - SHEATHING, WD FRAMING, BLOCKING SHALL BE RATED FOR EXTERIOR USE.
 - GC CONTRACTOR SHALL REVIEW WITH OWNER PRIOR TO START OF EXTERIOR WORK. EXTENT OF EIFS, CAPS COPING PROFILES. PAINT, LOCATIONS AND COLORS. FINAL FINISH AND COLOR SELECTIONS TO BE CONFIRMED WITH OWNER.
 - PAINT COLORS MUST BE FROM ARBY'S (RBA) SPECIFICATION. NO SUBSTITUTIONS. PREP AND PRIME AS REQUIRED.
- VERIFY ACTUAL FIELD CONDITIONS. GC TO REMOVE EXISTING AWNINGS, OTHER NON-STRUCTURAL ATTACHMENTS, PORTIONS OF EXISTING EIFS AS REQUIRED IN AREAS OF TEXTURED PATTERNED AND/OR REPLACEMENT EIFS EXTERIOR FINISH, AND FOR INSTALLATION OF SIGNAGE BANDS. RESTORE ALL SUBSTRATES BACKINGS AND MEMBRANES PER MFR. INSTALLATION GUIDELINES AND SPECIFICATIONS. PROVIDE PT BLKG AS REQUIRED. CONFIRM FITMENT TO CAPS, TRANSITIONS, AND TERMINATIONS SEALS FOR PROPER WEATHERPROOFING AND DRAINAGE. REPLACE OR REPAIR CAPS COPINGS AND TRIM AS NEEDED. CONFIRM EXTENT AS INDICATED AND WITH OWNER'S CONSTRUCTION MGR. PRIOR TO START OF WORK

FINISH SCHEDULE

FINISH#	FINISH DESIGNATION SEE SCHEDULE
COLOR#	COLOR DESIGNATION SEE PAINT COLORS
(E)	EXISTING FINISH. PAINT AS SCHEDULED
EIFS-1	EXTERIOR INSULATION FINISH SYSTEM (EIFS) DRYVIT SIMULATED BRICK STENCIL PATTERN PREP SUBSTRATE PROVIDE BACKER AS REQ'D
EIFS-2	EXTERIOR INSULATION FINISH SYSTEM (EIFS) DRYVIT SANDBLAST TEXTURE
MC-1	METAL COPING (MC) - PREFINISHED DURO-LAST #SR.70/TE87 'REGAL WHITE' OR APPR. EQ.
MC-2	METAL COPING CAP (MC) - PREFINISHED DURO-LAST #SR.26/TE87 'DARK BRONZE' OR APPR. EQ.
MC-3	METAL COPING CAP (MC) - PREFINISHED DURO-LAST #SR.38/TE87 'REGAL RED' OR APPR. EQ.
SIGNAGE AND CANOPIES ITEMS LISTED BELOW BY SIGN VENDOR UNDER SEPARATE PERMIT. GC TO PROVIDE BLKG AND COORD. INSTALL	
SB-1	SIGNAGE BAND 24"H PREFABRICATED METAL BAND, COLOR: RED
SB-2	ENTRANCE CANOPY 24"H PREFABRICATED METAL CANOPY w/ BUILT-IN LED LIGHTING COLOR: RED
SB-3	DRIVE-THRU CANOPY 24"H PREFABRICATED METAL CANOPY w/ BUILT-IN LED LIGHTING COLOR: RED

PAINT COLORS

	P.1 SHERWIN WILLIAMS. MATCH DRYVIT #310 'CHINA WHITE' SATIN FINISH
	P.2 SHERWIN WILLIAMS #2808 'ROOKWOOD DARK BROWN' SATIN FINISH
	P.3 SHERWIN WILLIAMS #6869 'STOP' SATIN FINISH
	P.4 SHERWIN WILLIAMS #7024 'FUNCTIONAL GRAY' SATIN FINISH

STOREFRONT NOTES

- GC TO VERIFY DIMENSIONS IN FIELD. COORDINATE ACTUAL DIMENSIONS w/ SHOP DRAWINGS. INSTALL PER OWNER SPECIFICATIONS AND MFR. INSTALLATION GUIDELINES
- CAULK AROUND FRAMES TO BE DYMETRIC 511 (TREMCO) POLYURETHANE SEALANT OR EQ.
- GAPS BETWEEN ROUGH OPENING AND WINDOWS TO BE SEALED WITH EXPANDING FOAM.
- GLAZING SHALL BE CLEAR 1" INSULATED GLASS SYSTEM, 1/4" CLEAR OVER 1/4" CLEAR, LOW-E ON #3 SURFACE, PPG SOLARBAN 90; TEMPERED 'T' WHERE INDICATED.
- STOREFRONT SHALL BE SET IN A SILL PAN WITH 1/2" END DAMS. SET SILL PAN IN FULL BED OF MASTIC. DO NOT BLOCK WEEPS. FLASHING BY STOREFRONT VENDOR. FLASHING TO EXTEND 1/2" PAST OUTSIDE FACE OF MULLION.

ELEVATION KEYED NOTES

- EXISTING DOOR PAINT DOOR AND FRAME AS INDICATED
- EXISTING STOREFRONT AND GLAZING SERVICE SEALS AND CLEAN.
- EXISTING DRIVE-THRU WINDOW UNIT SERVICE SEALS, SILL, AND CLEAN.
- EXISTING RAILINGS AND BOLLARDS PAINT. COLOR: RED
- PATCH REPAIR SURFACES. PREP FOR FINISH AS REQUIRED LINE OF REMOVED EXISTING AWNING
- CAP PATCH AND FINISH TO MATCH ADJACENT AT REMOVED EXISTING LIGHT FIXTURE VIF
- PATCH REPAIR SURFACES. PREP FOR FINISH AS REQUIRED REMOVE EXISTING SURFACE REVEAL / PROFILE
- REPLACE SIGNAGE - BY OTHERS UNDER SEPARATE PERMIT GC TO COORDINATE INSTALLATION
- LED EXTERIOR PERFORMANCE WALL SCONCE REF: LIGHT FIXTURE SCHEDULE. RE-USE EXISTING ELEC. CIRCUIT
- EXISTING GUTTERS SCUPPERS HEADS AND DOWNSPOUTS PAINT COLOR P.1
- EXISTING METAL ROOF VIF - PAINT COLOR P.3
- EXISTING INSULATED PANEL VIF - PAINT AS SCHEDULED
- [NOT USED]
- EXISTING EXTERIOR LIGHT FIXTURE. TO REMAIN VIF



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